

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-23-212
DATE RECEIVED 11 September 2023

DRAWING SCHEDULE - ARCHITECTURAL												
DRAWING NUMBER	TITLE	08/09/2023	23/09/2023	01/10/2023	08/10/2023	15/10/2023	22/10/2023	29/10/2023	05/11/2023	12/11/2023	19/11/2023	26/11/2023
A00-00	Cover Sheet & Location Plan	A	B	C	D	E	F	G	H	J	K	
A00-01	Demolition Site Plan	A	B	C	D	E	F	G	H	J	K	
A00-02	Proposed Site Plan	A	B	C	D	E	F	G	H	J	K	
A02-00	Proposed Floor Plan - Ground Floor	A	B	C	D	E	F	G	H	J	K	
A02-01	Proposed Floor Plan - Level 01	A	B	C	D	E	F	G	H	J	K	
A02-02	Proposed Floor Plan - Level 02	A	B	C	D	E	F	G	H	J	K	
A02-03	Roof Plan	A	B	C	D	E	F	G	H	J	K	
A04-00	Proposed Elevations	-	-	C	D	E	F	G	H	J	K	
A04-01	Proposed Elevations	-	-	C	D	E	F	G	H	J	K	
A04-02	Proposed Elevations	-	-	C	D	E	F	G	H	J	K	
A04-03	3D Views	-	-	-	-	-	-	-	H	J	K	

DESIGN DETAILS		
TITLE REFERENCE		
CERTIFICATE FOLD	7143	
VOLUME	2	

FLOOR AREAS		
EXISTING SITE AREA	23,72	m ²
PROPOSED GROUND FLOOR (INC CARPARK)	866	m ²
PROPOSED LEVEL 01 (EXCL. WALKWAYS)	732	m ²
PROPOSED LEVEL 02 (EXCL. WALKWAYS)	291	m ²
PROPOSED TOTAL FLOOR AREA	1889	m ²

CAR PARKING	15	SPACES
VISITOR CAR PARKING	4	SPACES
BICYCLE PARKING	8	SPACES

PROPOSED TOTAL GROUND FLOOR IMPERVIOUS SURFACES (INC DRIVEWAYS, PATHS AND COURTS)	1490 (+89%)	m ²
DENSITY (SITE AREA PER UNIT)	144	m ²
SITE DENSITY (ROOFED AREA)	756 (+35%)	m ²

DESIGN WIND CLASSIFICATION	TBC	
DESIGN WIND VELOCITY (M/S)	M/S	M/S
DESIGN WIND VELOCITY (KPH)	M/S	M/S
SOIL CLASSIFICATION	TBC	
CLIMATE ZONE	7	
RAL RATING	N/A	
ALPINE AREA	N/A	
CORROSION ENVIRONMENT	TBC	
OTHER HAZARDS	-	



LOCATION PLAN
1:500 @ A1

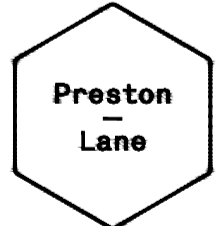
The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

Glenorchy City Council Planning Services
APPROVED
06 December 2023



ARTIST IMPRESSION FROM NORTHERN END OF MARONI ROAD
NTS

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



Submit
40 Burnside Street Hobart TAS 7000
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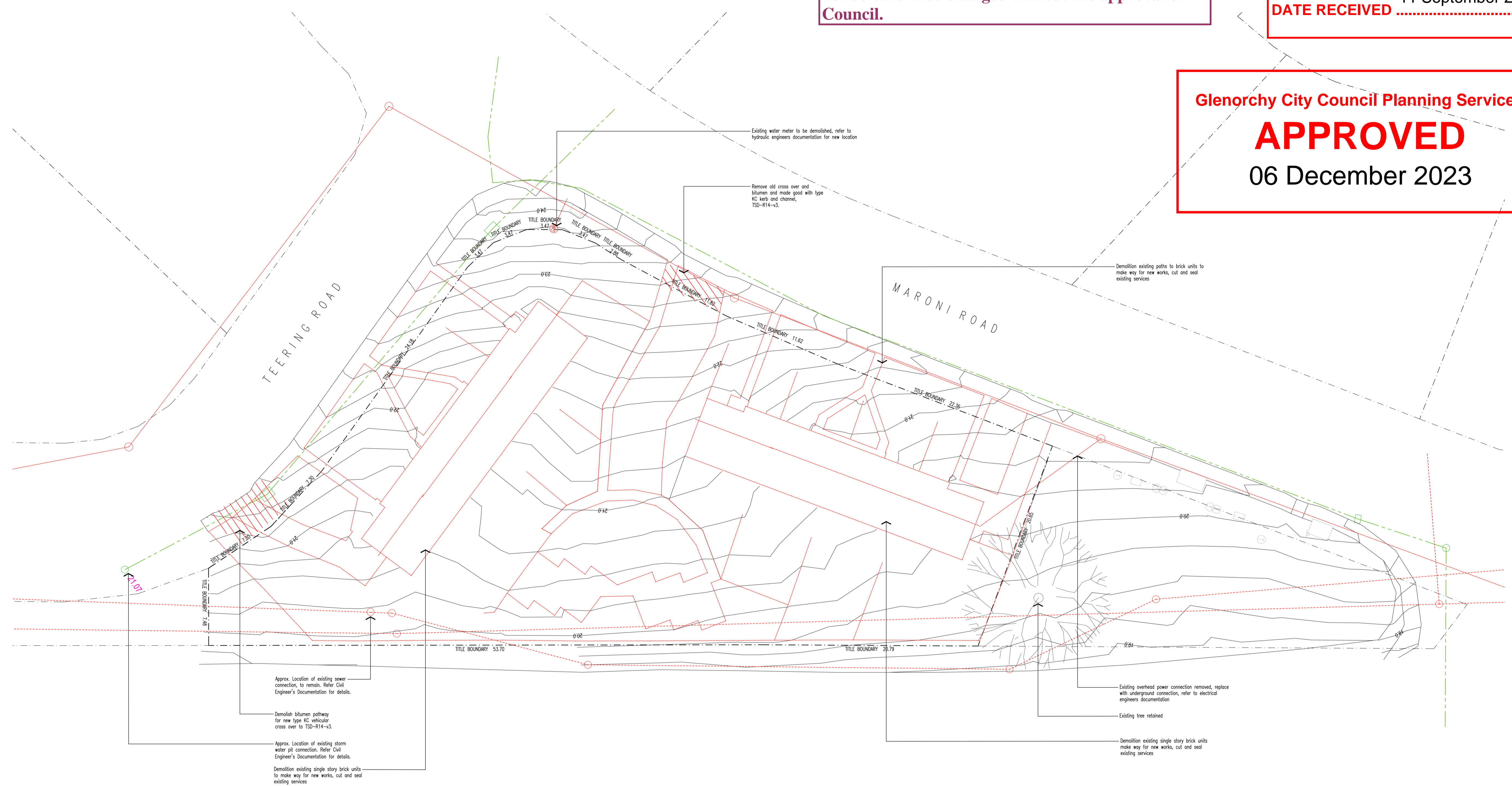
Proprietor	HOMES TASMANIA		
Project	1-7 TEERING ROAD BERRIEDALE		
Drawing	COVER SHEET & LOCATION PLAN		
Scale	NA		
Revision	NA		
E	08/09/2023	ISSUED FOR PM CONSENT	RG DL
F	07/10/2023	ISSUED TO PLANNER	RG DL
G	12/10/2023	ISSUED TO CLIENT	RG DL
H	28/10/2023	ISSUED FOR DA SUBMISSION	RG DL
J	04/10/2023	ISSUED FOR DA SUBMISSION	RG DL
K	11/10/2023	ISSUED FOR PM CONSENT	RG DL
Project No	23010		
Drawing Number	A00-00		

PRELIMINARY NOT FOR CONSTRUCTION

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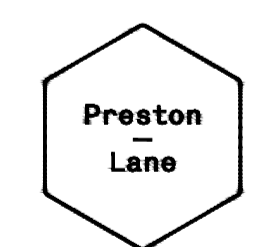
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DEMOLITION SITE PLAN
1:200 @ A1

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



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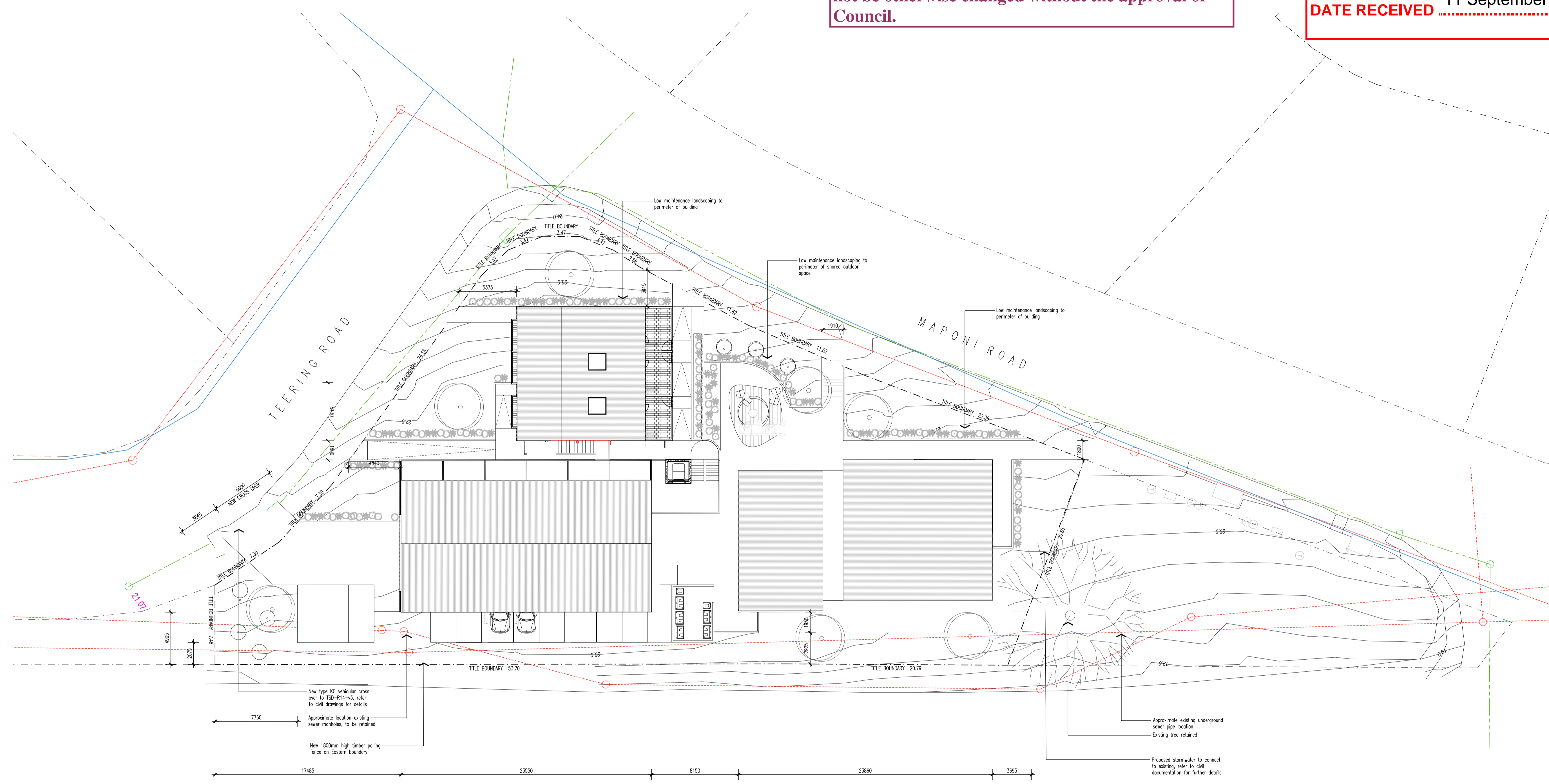
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Proprietor	HOMES TASMANIA			
Project	1-7 TEERING ROAD BERRIEDALE			
Drawing	DEMOLITION SITE PLAN			
Scale	1:200 @ A1			
Revision				
E	08/07/2023	ISSUED FOR IM CONSENT	RS	DL
F	07/07/2023	ISSUED TO PLANNER	RS	DL
G	12/07/2023	ISSUED TO CLIENT	RS	DL
H	28/07/2023	ISSUED FOR LA SUBMISSION	RS	DL
J	04/08/2023	ISSUED FOR LA SUBMISSION	RS	DL
K	11/09/2023	ISSUED FOR IM REVIEW	RS	DL
Project No				

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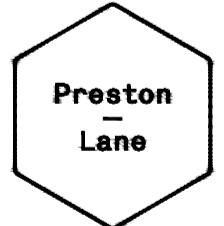
**GLENORCHY CITY COUNCIL
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PROPOSED SITE PLAN
1:200

Glenorchy City Council Planning Services
APPROVED
06 December 2023

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



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Proprietor HOMES TASMANIA
Project 1-7 TEERING ROAD BERRIEDALE
Drawing PROPOSED SITE PLAN
Scale 1:200 (A1)

Revision	1:200 (A1)
E 08/07/2023	ISSUED FOR PM CONSENT
F 07/07/2023	ISSUED TO PLANNER
G 12/07/2023	ISSUED TO CLIENT
H 28/07/2023	ISSUED FOR LA SUBMISSION
J 04/08/2023	ISSUED FOR LA SUBMISSION
K 11/09/2023	ISSUED FOR PM REVIEW

PRELIMINARY NOT FOR CONSTRUCTION

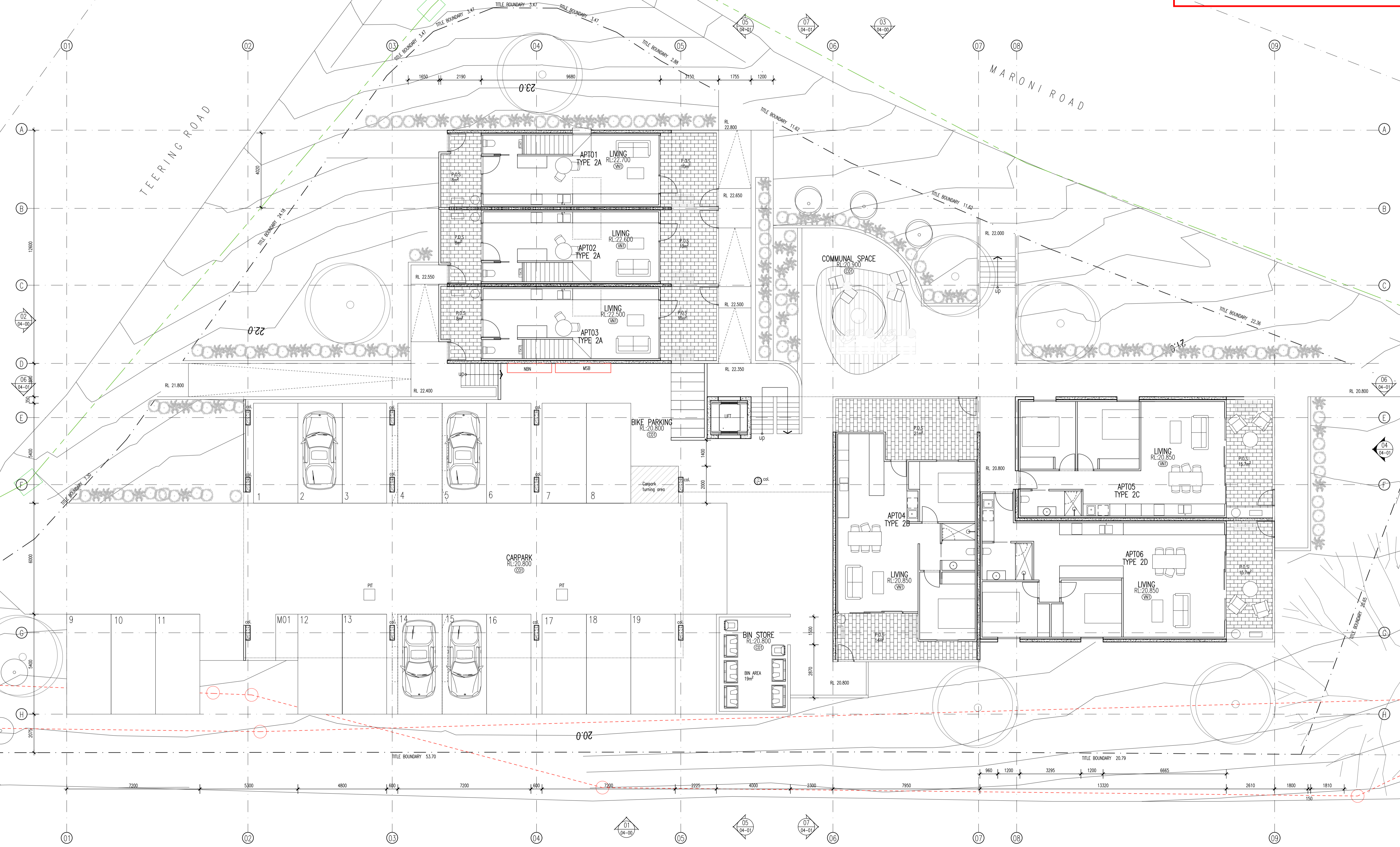
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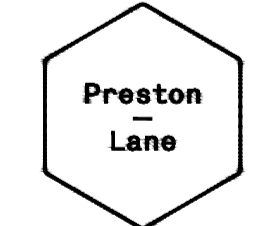


- EXTERIOR FINISHES**
- (CS) James Hardie, Hardie Fine Texture Cladding, installed to manufacturers specifications. Paint finish colour to future selection.
 - (BT) Brickwork, to future selection.
 - (BFC) 750 and 1000mm brickwork screen. Paint finish, colour to match BT1. Confirm setout with architect on site.
 - (SFC) Aluminium Bottom screen with support structure, powdercoated colour to future selection.
 - (SAL) Steel balustrade. 70x10mm top and bottom plate, with 100x10mm steel uprights at max. 100mm c/c. Min 1000mm above deck. Paint finish, colour to be white. Filing to future detail.
 - (CR) Custom orb roofing, colorbond finish to future selection.
 - (FEN) Brickwork fence 1200mm above NLA, to future selection.
 - (FNC) 750 and 1000mm brickwork screen fence. Paint finish, colour to match FENC. Confirm setout with architect on site.
 - (CST) Concrete steel trowel finish.
 - (CCP) Precast concrete panels, steel trowel natural grey finish. Dulux Surfcoast HD - 2 coats.
 - (CCG) Concrete, exposed aggregate finish, 14mm bluestone aggregate.
 - (W) Window
 - (D) Door
 - (G) Gate

NOTE:

- As recommended in the Noise Impact Assessment completed by MJC dated 02.08.2023, to minimise the potential impact on internal noise levels, it is proposed that all eastern, northern and southern facades for habitable spaces are constructed with a weighted sound reduction index of minimum 32.
- Any masonry construction will achieve this.
- Lightweight external walls to have fixed plasterboard internal lining and insulation in the cavity.
- Any windows or glazed doors will be double glazed and fitted with full perimeter seals.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



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Proprietor	HOMES TASMANIA			
Project	1-7 TEERING ROAD BERRIEDALE			
Drawing	PROPOSED GROUND FLOOR PLAN			
Scale	1:100 @ A1			
Revision				
E	08/07/2023	ISSUED FOR IM CONSENT	RS	DL
F	07/07/2023	ISSUED TO PLANNER	RS	DL
G	07/07/2023	ISSUED TO CLIENT	RS	DL
H	28/07/2023	ISSUED FOR LA SUBMISSION	RS	DL
J	04/08/2023	ISSUED FOR LA SUBMISSION	RS	DL
K	11/09/2023	ISSUED FOR IM REVIEW	RS	DL
Project No	23010			
Drawing Number	A02-00			

PRELIMINARY NOT FOR CONSTRUCTION

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- EXTERIOR FINISHES**
- (CS) James Hardie, Hardie Fine Texture Cladding, installed to manufacturers specifications. Paint finish colour to future selection.
 - (BT) Brickwork, to future selection.
 - (BF) 750 and 1500mm brickwork screen. Paint finish, colour to match BF1. Confirm setout with architect on site.
 - (SCF) Aluminium Bottom screen with support structure, powdercoated colour to future selection.
 - (SL) Steel balustrade. 70x10mm top and bottom plate, with 100x4mm steel uprights at nom. 100mm c/c. Min 1000mm above deck. Paint finish, colour to be white. Filing to future detail.
 - (CR) Custom orb roofing, colorbond finish to future selection.
 - (BF2) Brickwork fence 1200mm above NLA, to future selection.
 - (FNC) 750 and 1500mm brickwork screen fence. Paint finish, colour to match FNC2. Confirm setout with architect on site.
 - (CC) Concrete steel trowel finish.
 - (PC) Precast concrete panels, steel browel natural grey finish. Dulux Surfcoastfield HD - 2 coats.
 - (CA) Concrete, exposed aggregate finish, 14mm bluestone aggregate.
 - W Window
 - D Door
 - G Gate

NOTE:

As recommended in the Noise Impact Assessment completed by NAC dated 02.08.2023, to minimise the potential impact on internal noise levels, it is proposed that all eastern, northern and southern facades to habitable spaces are constructed with a weighted sound reduction index of minimum 32.

- Any masonry construction will achieve this.
- Lightweight external walls to have fixed glass/bombard internal lining and insulation in the cavity.
- Any windows or glazed doors will be double glazed and filled with full perimeter seals.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY

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Proprietor: HOMES TASMANIA
Project: 1-7 TEERING ROAD BERRIEDALE

Drawing: PROPOSED FLOOR PLAN - LEVEL 01
Scale: 1:100 @ A1

Revision	Description	By	Check
E	08/07/2023	ISSUED FOR IM CONSENT	RS DL
F	07/07/2023	ISSUED TO PLANNER	RS DL
G	12/07/2023	ISSUED TO CLIENT	RS DL
H	28/07/2023	ISSUED FOR LA SUBMISSION	RS DL
J	04/08/2023	ISSUED FOR LA SUBMISSION	RS DL
K	11/09/2023	ISSUED FOR IM REVIEW	RS DL

PROPOSED - LEVEL 01 FLOOR PLAN
1:100

PRELIMINARY NOT FOR CONSTRUCTION

Glenorchy City Council Planning Services

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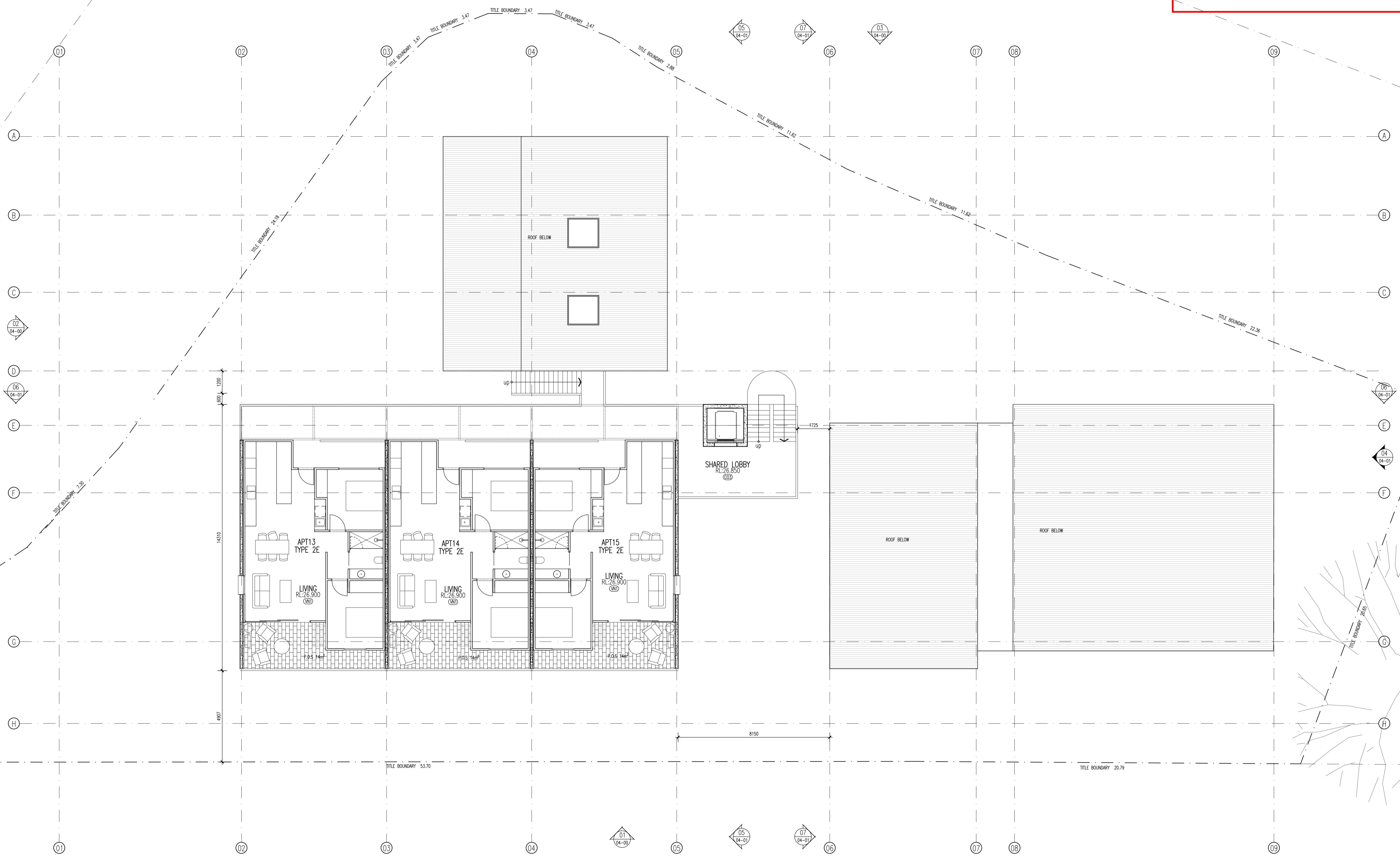
06 December 2023

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No PLN-23-212

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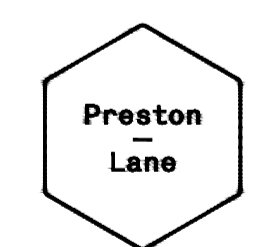
- EXTERIOR FINISHES**
- (CS) James Hardie, Hardie Fine Texture Cladding, installed to manufacturers specifications. Paint finish colour to future selection.
 - (BT) Brickwork, to future selection.
 - (BFT) 750 and 1000mm brickwork screen. Paint finish, colour to match BT1. Confirm setout with architect on site.
 - (BSF) Aluminium Bottom screen with support structure, powdercoated colour to future selection.
 - (SAL) Steel balustrade, 70x10mm top and bottom plate, with 100x4mm steel uprights at nom. 100mm c/c. Min 1000mm above deck. Paint finish, colour to be white. Filing to future detail.
 - (CR) Custom orb roofing, colorbond finish to future selection.
 - (BF) Brickwork fence 1200mm above NLA, to future selection.
 - (FEN) 750 and 1000mm brickwork screen fence. Paint finish, colour to match FEN2. Confirm setout with architect on site.
 - (CST) Concrete steel trowel finish.
 - (CCG) Precast concrete panels, steel brown natural grey finish. Dulux Surfcoastfield HD - 2 coats.
 - (CAG) Concrete, exposed aggregate finish, 14mm bluestone aggregate.
 - W Window
 - D Door
 - G Gate

NOTE:

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- Any masonry construction will achieve this.
- Lightweight external walls to have fixed plasterboard internal lining and insulation in the cavity.
- Any windows or glazed doors will be double glazed and fitted with full perimeter seals.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



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Proprietor	HOMES TASMANIA	
Project	1-7 TEERING ROAD BERRIEDALE	
Drawing	PROPOSED FLOOR PLAN - LEVEL 02	
Scale	1:100 @ A1	
Revision		
E	08/07/2023	ISSUED FOR PM CONSENT
F	07/07/2023	ISSUED FOR PLANNER
G	12/07/2023	ISSUED FOR CLIENT
H	28/07/2023	ISSUED FOR IA SUBMISSION
J	04/08/2023	ISSUED FOR IA SUBMISSION
K	11/09/2023	ISSUED FOR PM REVIEW
Project No	23010	
Drawing Number	A02-02	

PROPOSED - LEVEL 02 FLOOR PLAN
1:100

PRELIMINARY NOT FOR CONSTRUCTION

Glenorchy City Council Planning Services

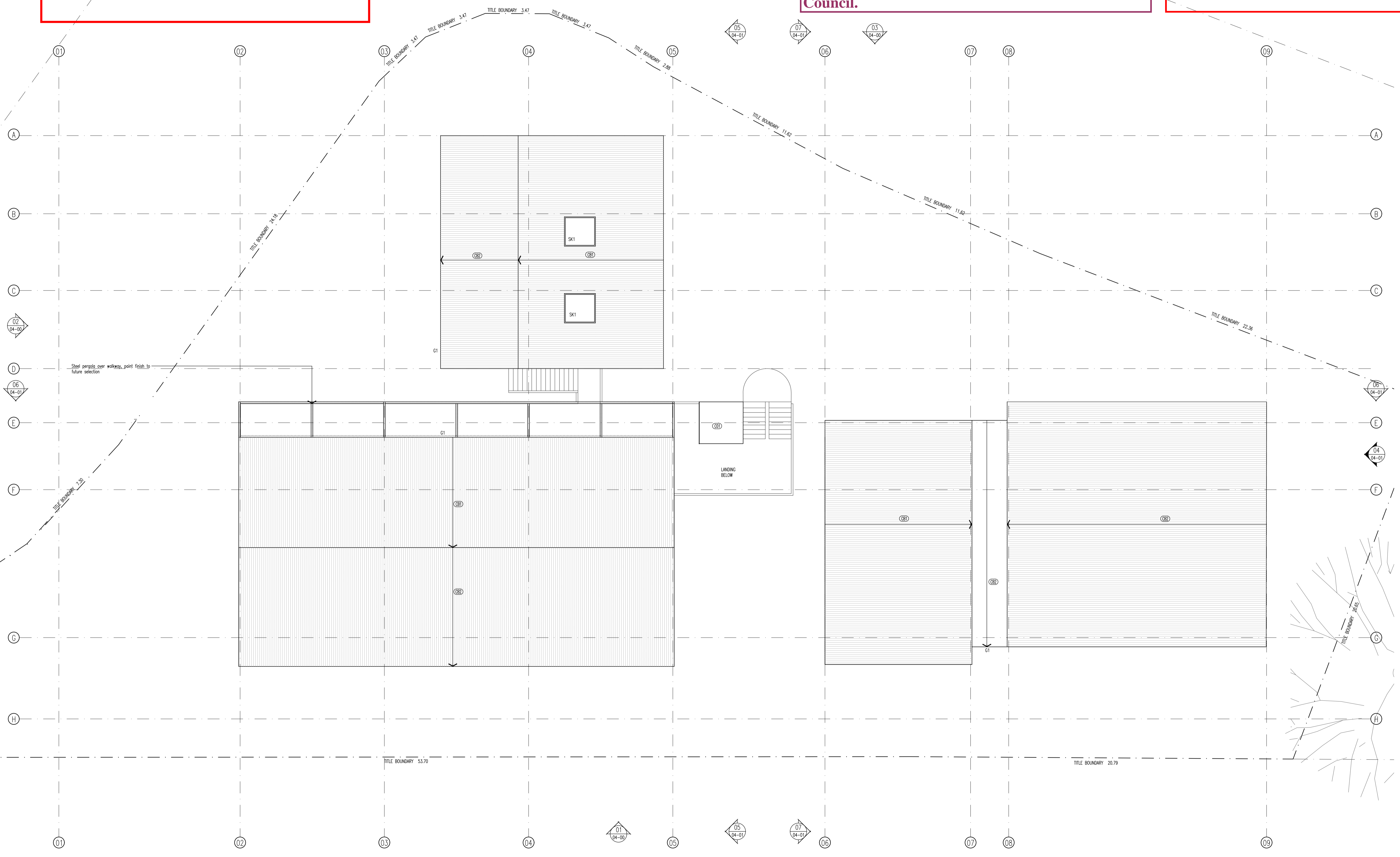
APPROVED

06 December 2023

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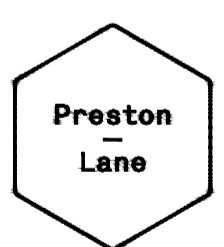
**GLENORCHY CITY COUNCIL
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APPLICATION No **PLN-23-212**
DATE RECEIVED **11 September 2023**



- Roof types**
- (CB1) New Custom 0.6 roof sheeting colour to future selection. Base metal thickness 0.42.
 - (CB2) New Lysaght klp-104 406 roof sheeting, colour to future selection. Base metal thickness 0.45.
 - (AL1) 6mm Aluminium eaving powdercoat finish to future selection.
- Roof Fillings_Schedule**
- dp1 90mm diameter PVC down pipe, paint finish
 - dp2 90mm diameter PVC down pipe, concealed within wall cavity.
 - g1. Eaves gutter, colour to match roofing iron adjacent.
 - g2. 0.60 Machine folded colorbond box gutter, sump. 0.60 Machine folded colorbond sump. Colour to match roof sheeting adjacent.
 - o/f1 0.60 Machine folded colorbond overflow. (200mm x 50mm)
 - vt Roof Vent, colour to match roofing material.
 - SK1 Skylight type 1

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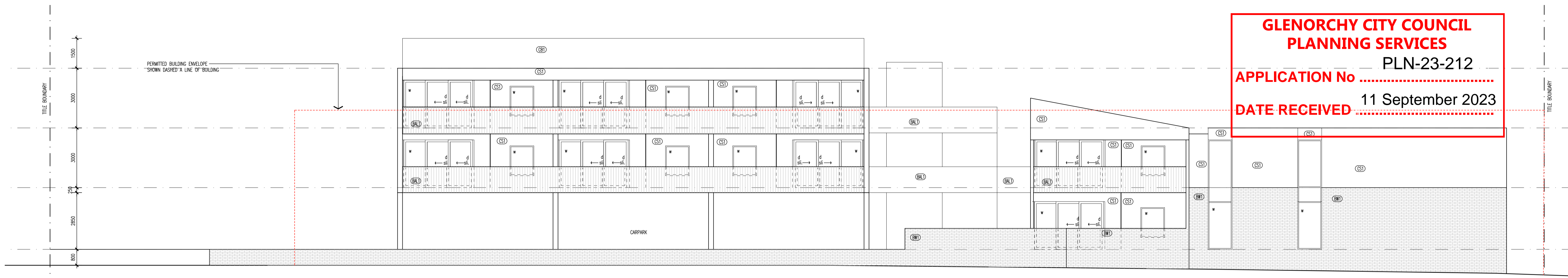
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Proprietor	HOMES TASMANIA			
Project	1-7 TEERING ROAD BERRIEDALE			
Drawing	PROPOSED ROOF PLAN			
Scale	1:100 @ A1			
Revision				
E	08/07/2023	ISSUED FOR IM CONSENT	RS	DL
F	07/07/2023	ISSUED TO PLANNER	RS	DL
G	12/07/2023	ISSUED TO CLIENT	RS	DL
H	28/07/2023	ISSUED FOR LA SUBMISSION	RS	DL
J	04/08/2023	ISSUED FOR LA SUBMISSION	RS	DL
K	11/09/2023	ISSUED FOR IM APPROVAL	RS	DL
Project No				
Drawing Number				

PROPOSED - ROOF PLAN
1:100

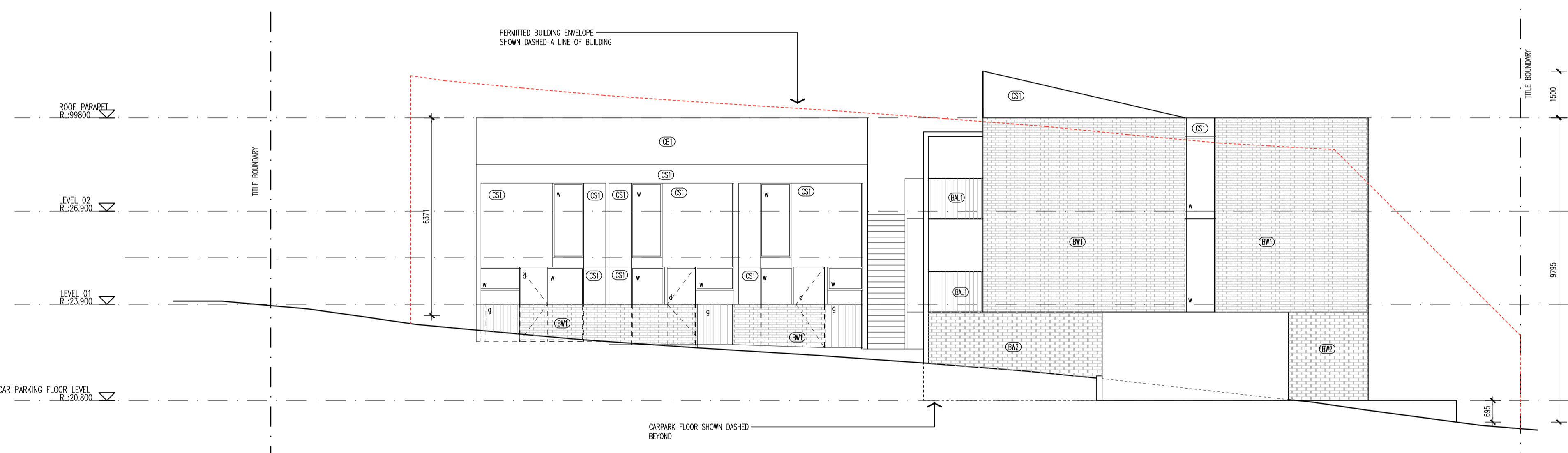
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01 PROPOSED - EAST ELEVATION
A02-00 1:100

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02 PROPOSED - SOUTH ELEVATION
A02-00 1:100

Glenorchy City Council Planning Services
APPROVED
06 December 2023

- EXTERIOR FINISHES**
- (CS1) James Hardie, Hardie Fine Texture Cladding, installed to manufacturers specifications. Paint finish colour to future selection.
 - (BR) Brickwork, to future selection.
 - (BM) 750 and 900 brickwork screen. Paint finish, colour to match BM1. Confirm setout with architect on site.
 - (CS2) Aluminium Balustrade screen with support structure, powdercoated colour to future selection.
 - (BAL) Steel balustrade, 70x10mm top and bottom plate, with 100x4mm steel uprights at nom. 100mm c/c. Min 1000mm above deck. Paint finish, colour to be white. Filing to future detail.
 - (CR) Custom orb roofing, colorbond finish to future selection.
 - (FEN) Brickwork fence 1200mm above NLA, to future selection.
 - (FNC) 750 and 900 brickwork screen fence. Paint finish, colour to match FENC. Confirm setout with architect on site.
 - (CST) Concrete steel trowel finish.
 - (CCP) Precast concrete panels, steel trowel natural grey finish. Dulux Surfcoastfield HD - 2 coats.
 - (CON) Concrete, exposed aggregate finish, 14mm bluestone aggregate.
- W Window
d Door
g Gate

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- Any windows or glazed doors will be double glazed and filled with full perimeter seals.

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Prepared by HOMES TASMANIA
Project 1-7 TEERING ROAD BERRIEDALE

Drawing PROPOSED ELEVATIONS

Scale 1:100 @ A1

Revision	Description	By	Chk
E	08/07/2023 ISSUED FOR IAN CONSENT	RG	DL
F	07/07/2023 ISSUED TO PLANNER	RG	DL
G	12/07/2023 ISSUED TO CLIENT	RG	DL
H	28/07/2023 ISSUED FOR IAN SUBMISSION	RG	DL
J	04/08/2023 ISSUED FOR IAN SUBMISSION	RG	DL
K	11/09/2023 ISSUED FOR IAN REVIEW	RG	DL

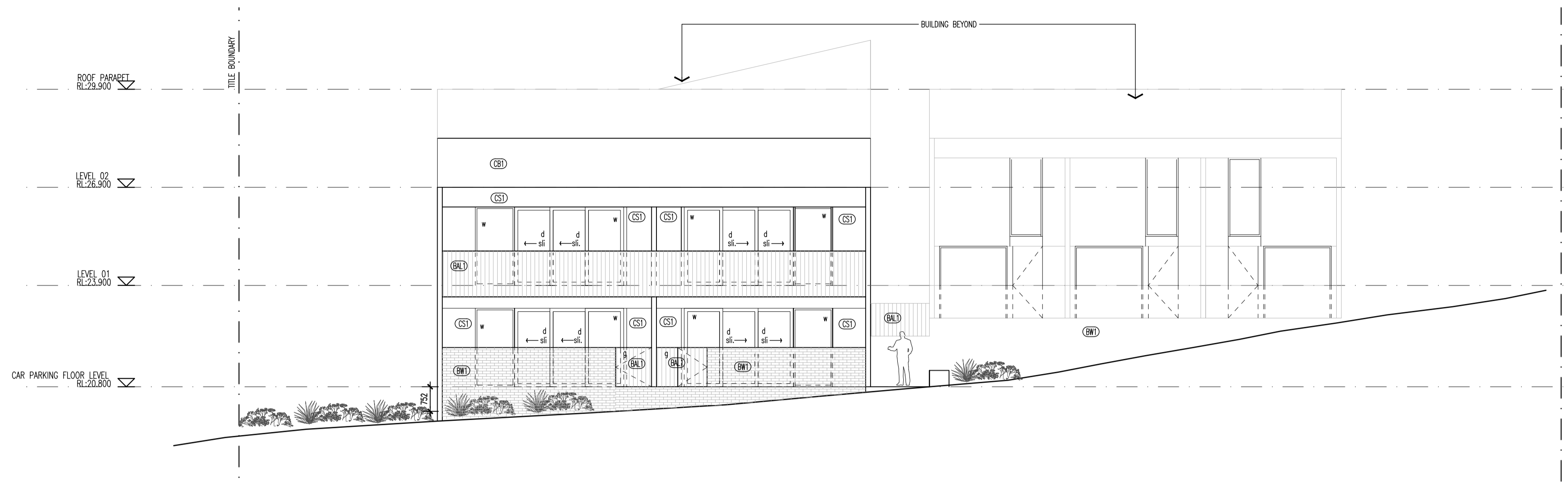
Drawing Number 23010 rev K

PRELIMINARY NOT FOR CONSTRUCTION

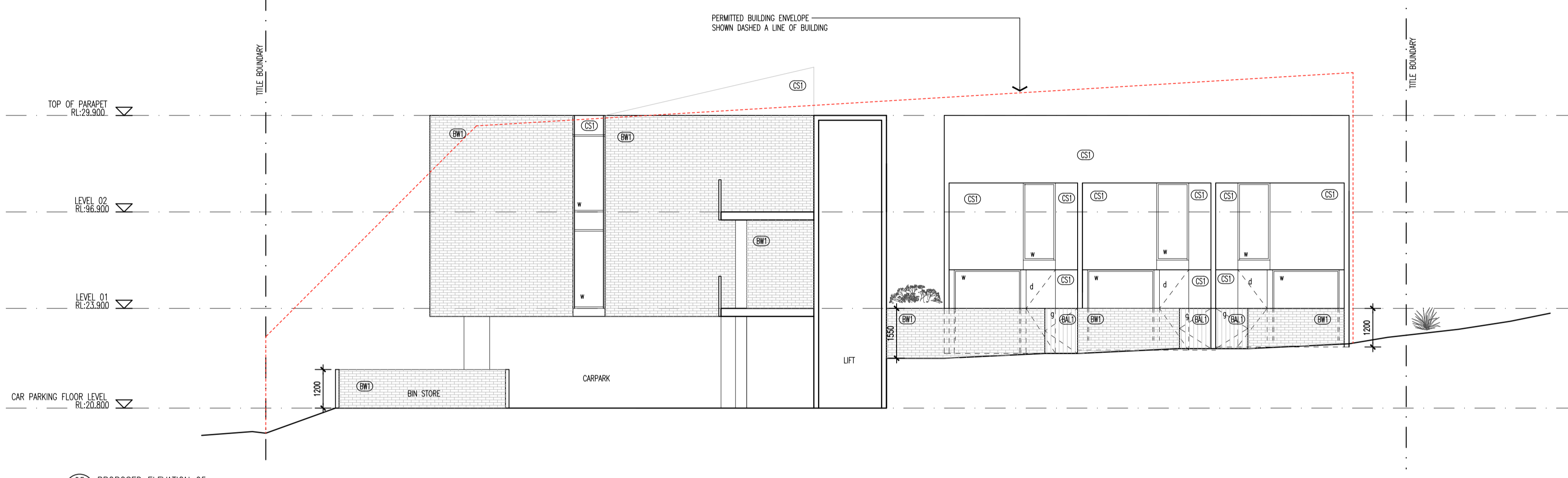
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DATE RECEIVED 11 September 2023

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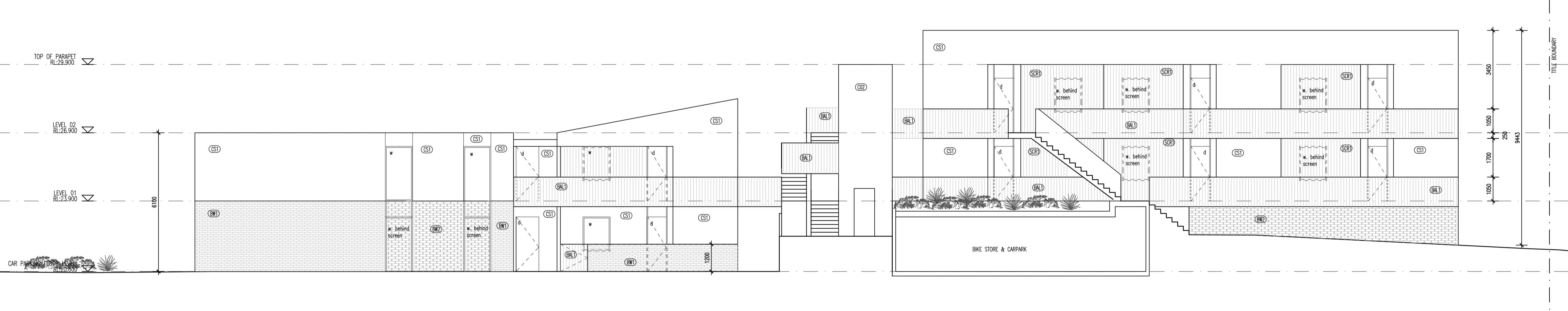
Glenorchy City Council Planning Services
APPROVED
06 December 2023



04 PROPOSED - NORTH ELEVATION
A02-00 1:100



05 PROPOSED ELEVATION 05
A02-00 1:100

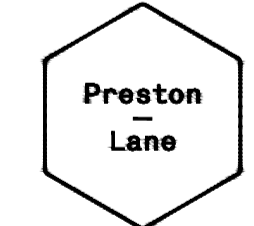


06 PROPOSED ELEVATION 06
A02-00 1:100

- EXTERIOR FINISHES**
- (CS1) James Hardie, Hardie Fine Texture Cladding, installed to manufacturers specifications. Paint finish colour to future selection.
 - (BR) Brickwork, to future selection.
 - (BS1) 750 and 900mm brickwork screen. Paint finish, colour to match BS1. Confirm setout with architect on site.
 - (BS2) Aluminium Batten screen with support structure, powdercoated colour to future selection.
 - (BL1) Steel balustrade, 70x10mm top and bottom plate, with 100x4mm steel uprights at nom. 100mm c/c. Min 1000mm above deck. Paint finish, colour to be white. Filing to future detail.
 - (CR) Custom orb roofing, colorbond finish to future selection.
 - (FEN) Brickwork fence 1200mm above NLA, to future selection.
 - (FEN2) 750 and 900mm brickwork screen fence. Paint finish, colour to match FEN2. Confirm setout with architect on site.
 - (CST) Concrete steel trowel finish.
 - (CC1) Precast concrete panels, steel trowel natural grey finish. Dulux SurfaceShield HD - 2 coats.
 - (CA) Concrete, exposed aggregate finish, 14mm bluestone aggregate.
 - (W) Window
 - (D) Door
 - (G) Gate

NOTE:
As recommended in the Noise Impact Assessment completed by NAC dated 02/08/2023, to minimise the potential impact on internal noise levels, it is proposed that all eastern, northern and southern facades to habitable spaces are constructed with a weighted sound reduction index of minimum 32.
- Any masonry construction will achieve this.
- Lightweight external walls to have fixed glass/doorboard internal lining and insulation in the cavity.
- Any windows or glazed doors will be double glazed and fitted with full perimeter seals.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



Blairmont
40 Burnside Road Hobart TAS 7000
Tasmania 0035
ACC CC20277
Blairmont
3 Third Burnside Road VIC 3041
T 03 9467 8802
info@blairmont.com.au
prestonlane.com.au

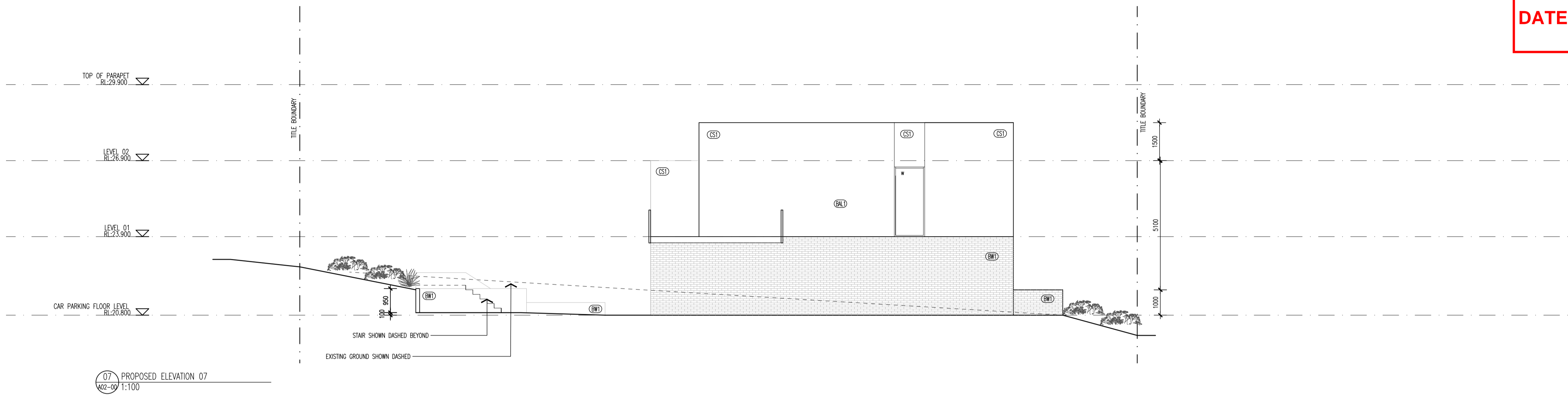
The Builder/Contractor shall verify all dimensions prior to any work commencing. Figure dimensions shall take precedence over scaled work.
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Proprietor: HOMES TASMANIA
Project: 1-7 TEERING ROAD BERRIEDALE
Drawing: PROPOSED ELEVATIONS
Scale: 1:100 @ A1
Revision: 23010

Revision	Description	By	Check
E	08/07/2023 ISSUED FOR IAN CONSENT	RG	DL
F	07/07/2023 ISSUED TO PLANNER	RG	DL
G	07/07/2023 ISSUED TO CLIENT	RG	DL
H	28/07/2023 ISSUED FOR IAN SUBMISSION	RG	DL
J	04/08/2023 ISSUED FOR IAN SUBMISSION	RG	DL
K	11/09/2023 ISSUED FOR IAN REVIEW	RG	DL

PRELIMINARY NOT FOR CONSTRUCTION

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-23-212
DATE RECEIVED 11 September 2023



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Glenorchy City Council Planning Services
APPROVED
06 December 2023

- EXTERIOR FINISHES**
- (CS) James Hardie, Hardie Fine Texture Cladding, installed to manufacturers specifications. Paint finish colour to future selection.
 - (BT) Brickwork, to future selection.
 - (BWP) 750 and 600 brickwork screen. Paint finish, colour to match BT1. Confirm setout with architect on site.
 - (CSF) Aluminium Batten screen with support structure, powdercoated colour to future selection.
 - (BAL) Steel balustrade. 70x10mm top and bottom plate, with 100x4mm steel uprights at max. 100mm c/c. Min 1000mm above deck. Paint finish, colour to be white. Filing to future detail.
 - (CB) Custom orb roofing, colorbond finish to future selection.
 - (FEN) Brickwork fence 1200mm above NLA, to future selection.
 - (FEN) 750 and 600 brickwork screen fence. Paint finish, colour to match FEN2. Confirm setout with architect on site.
 - (CC) Concrete steel trowel finish.
 - (CC) Precast concrete panels, steel trowel natural grey finish. Dulux SurfcoShield HD - 2 coats.
 - (CC) Concrete, exposed aggregate finish, 14mm bluestone aggregate.
- # Window
 d Door
 g Gate

NOTE:

As recommended in the Noise Impact Assessment completed by NAC dated 02.08.2023, to minimise the potential impact on internal noise levels, it is proposed that all eastern, northern and southern facades to habitable spaces are constructed with a weighted sound reduction index of minimum 32.

- Any masonry construction will achieve this.
- Lightweight external walls to have fixed plasterboard internal lining and insulation in the cavity.
- Any windows or glazed doors will be double glazed and fitted with full perimeter seals.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



Submit
40 Beach Road Hobart TAS 7000
Tas 8000 8000
ACC CC20277
Submitted
3 Third Beach Road VIC 3041
T 03 9407 8802
info@prestonlane.com.au
prestonlane.com.au

The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.
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Proprietor	HOMES TASMANIA		
Project	1-7 TEERING ROAD BERRIEDALE		
Drawing	PROPOSED ELEVATIONS		
Scale	1:100 @ A1		
Revision			
E	08/07/2023 ISSUED FOR IM CONSENT	RS	DL
F	07/07/2023 ISSUED FOR PLANNER	RS	DL
G	12/07/2023 ISSUED FOR CLIENT	RS	DL
H	28/07/2023 ISSUED FOR LA SUBMISSION	RS	DL
J	04/08/2023 ISSUED FOR LA SUBMISSION	RS	DL
K	11/08/2023 ISSUED FOR IM REVIEW	RS	DL

PRELIMINARY NOT FOR CONSTRUCTION

Drawing Number 23010
A04-02 rev K
Print Date: 7 December 2023, 11:08 AM

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
PLN-23-212
APPLICATION No
DATE RECEIVED 11 September 2023



01 VIEW FROM NORTH OF MARONI ROAD



02 VIEW FROM TEERING ROAD

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Glenorchy City Council Planning Services
APPROVED
06 December 2023

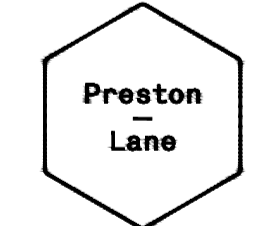


03 VIEW FROM CORNER OF MARONI & TEERING ROAD

- EXTERIOR FINISHES**
- (CS) James Hardie, Hardie Fine Texture Cladding, installed to manufacturers specifications. Paint finish colour to future selection.
 - (BT) Brickwork, to future selection.
 - (MF) 750 and 1500 brickwork screen. Paint finish, colour to match BT1. Confirm setout with architect on site.
 - (CF) Aluminium Balustrade screen with support structure, powdercoated colour to future selection.
 - (BL) Steel balustrade. 70x10mm top and bottom plate, with 100x4mm steel uprights at max. 100mm c/c. Min 1000mm above deck. Paint finish, colour to be white. Filing to future detail.
 - (CR) Custom orb roofing, colorbond finish to future selection.
 - (FN) Brickwork fence 1200mm above NLA, to future selection.
 - (FK) 750 and 1500 brickwork screen fence. Paint finish, colour to match FK2. Confirm setout with architect on site.
 - (CD) Concrete steel truss finish.
 - (CC) Precast concrete panels, steel truss natural grey finish. Dulux SurfcoShield HD - 2 coats.
 - (CA) Concrete, exposed aggregate finish, 14mm bluestone aggregate.
 - W Window
 - D Door
 - G Gate

NOTE:
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- Any windows or glazed doors will be double glazed and fitted with full perimeter seals.

LOCATION OF ALL NEIGHBOURING STRUCTURES ARE INDICATIVE ONLY



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ACC CC20277
Bluesteel
3 Third Berrimah Tce VIC 3041
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info@bluesteel.com.au
preston@bluesteel.com.au

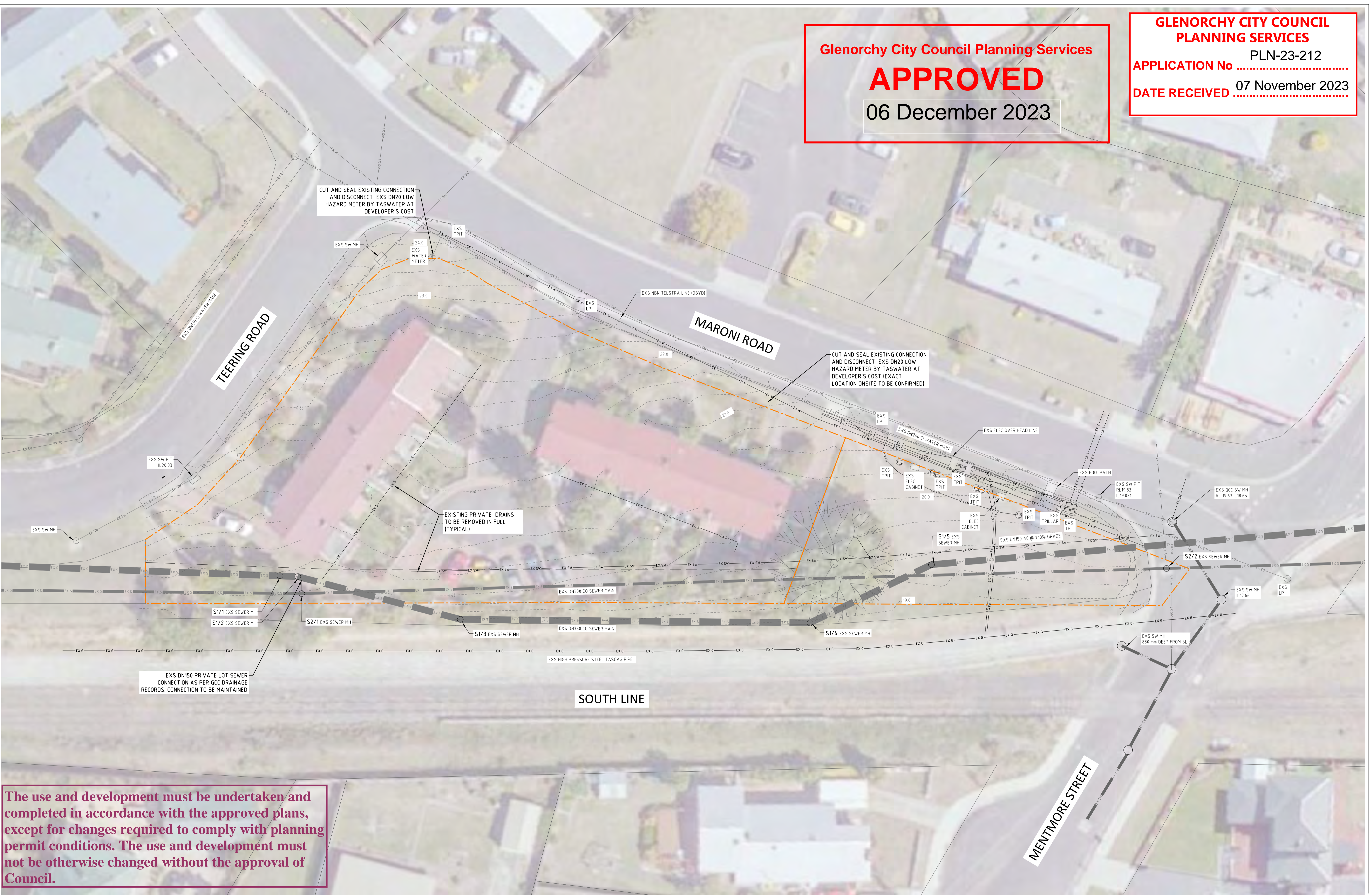
The Builder/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.
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Proprietor	HOMES TASMANIA		
Project	1-7 TEERING ROAD BERRIEDALE		
Drawing	3D VIEWS		
Scale	1:100 @ A1		
Revision			
E	08/07/2023 ISSUED FOR IM CONSENT	RG	DL
F	07/07/2023 ISSUED FOR PLANNER	RG	DL
G	12/07/2023 ISSUED FOR CLIENT	RG	DL
H	28/07/2023 ISSUED FOR LA SUBMISSION	RG	DL
J	04/08/2023 ISSUED FOR LA SUBMISSION	RG	DL
K	11/08/2023 ISSUED FOR IM REVIEW	RG	DL
Project No			
Drawing Number	23010		

PRELIMINARY NOT FOR CONSTRUCTION

Glenorchy City Council Planning Services
APPROVED
 06 December 2023

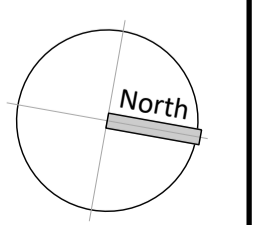
**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No PLN-23-212
 DATE RECEIVED 07 November 2023



The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

REV	DESCRIPTION	APP'D	DATE	REV	DESCRIPTION	APP'D	DATE
G	PLANNING APPROVAL	DH	06.11.2023				

THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION



GANDY AND ROBERTS CONSULTING ENGINEERS
 159 DAVEY ST, HOBART TASMANIA, AUSTRALIA 7000
 www.gandyandroberts.com.au
 mail@gandyandroberts.com.au
 ph 03 6223 8877 fx 03 6223 7183

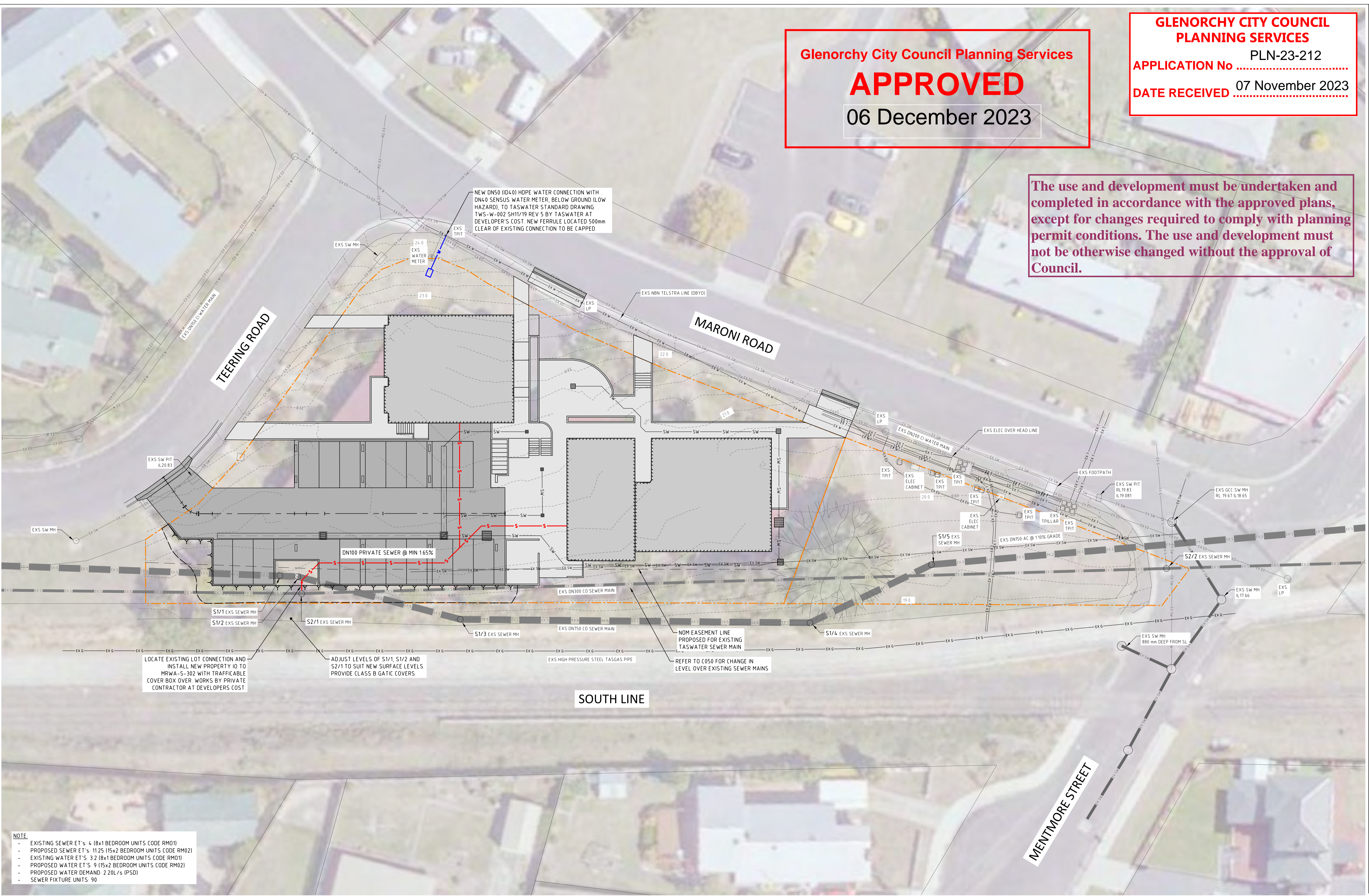
HOMES TASMANIA
 1-7 TEERING ROAD, BERRIEDALE TASMANIA 7011
 DRAWING TITLE
DEMOLITION PLAN

0 50mm		SCALE
		1:200@A1
DESIGNED	DRAWN	CHECKED
DH	DS	-
PROJECT	DRAWING	REVISION
23.0207	C020	G

Glenorchy City Council Planning Services
APPROVED
 06 December 2023

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
 APPLICATION No PLN-23-212
 DATE RECEIVED 07 November 2023

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LOCATE EXISTING LOT CONNECTION AND INSTALL NEW PROPERTY IO TO MRWA-S-302 WITH TRAFFICABLE COVER BOX OVER WORKS BY PRIVATE CONTRACTOR AT DEVELOPERS COST

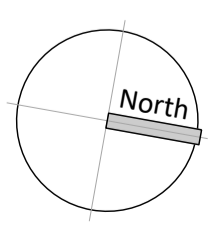
ADJUST LEVELS OF S1/1, S1/2 AND S2/1 TO SUIT NEW SURFACE LEVELS PROVIDE CLASS B GATIC COVERS

NOM EASEMENT LINE PROPOSED FOR EXISTING TASWATER SEWER MAIN REFER TO C050 FOR CHANGE IN LEVEL OVER EXISTING SEWER MAINS

- NOTE:**
- EXISTING SEWER ET'S: 4 (8x1 BEDROOM UNITS CODE RM01)
 - PROPOSED SEWER ET'S: 11.25 (15x2 BEDROOM UNITS CODE RM02)
 - EXISTING WATER ET'S: 3.2 (8x1 BEDROOM UNITS CODE RM01)
 - PROPOSED WATER ET'S: 9 (15x2 BEDROOM UNITS CODE RM02)
 - PROPOSED WATER DEMAND: 2.20L/s (PSD)
 - SEWER FIXTURE UNITS: 90

REV	DESCRIPTION	APP'D	DATE	REV	DESCRIPTION	APP'D	DATE
G	PLANNING APPROVAL	DH	06.11.2023				

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HOMES TASMANIA
 1-7 TEERING ROAD, BERRIEDALE TASMANIA 7011
 DRAWING TITLE
 CONCEPT SEWER & WATER PLAN

0 50mm		SCALE 1:200@A1
DESIGNED DH	DRAWN DS	CHECKED -
PROJECT 23.0207	DRAWING C022	REVISION G

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-23-212
DATE RECEIVED 07 November 2023

STORMWATER TREATMENT TRAIN EFFECTIVENESS			
TREATMENT TRAIN DESCRIPTION ENVIROAUSTRALIS GV30 MECHANICAL TREATMENT UNIT AND 2X SPEL STORMSACKS IN PEDESTRIAN PATHWAY ZONES			
	SOURCES	RESIDUAL LOAD	% REDUCTION
FLOW (ML/yr)		0 712	0
TOTAL SUSPENDED SOLIDS (kg/yr)	141	8 310	94 100
TOTAL PHOSPHORUS (kg/yr)	0.3	0 040	86 700
TOTAL NITROGEN (kg/yr)	2 040	0 873	57
GROSS POLLUTANTS (kg/yr)	25 000	0	100
TREATMENT TRAIN EFFECTIVENESS MODELLED USING MUSIC V6.2			
ANALYSIS PARAMETERS			
ROOF AREA	504	m ²	
DRIVEWAY/HARDSTAND AREA	962	m ²	
GARDEN AREA	0	m ²	
COMPLIANCE WITH THE REQUIREMENTS OF THE GCC STORMWATER MANAGEMENT POLICY CAN BE ACHIEVED BY USING THE INDICATED STORMWATER TREATMENT TRAIN			

ON-SITE STORMWATER DETENTION			
PERMISSIBLE SITE DISCHARGE ASSESSED USING RATIONAL METHOD FOR 5% AEP 30 MINUTE DURATION DESIGN STORM WITH INTENSITY 30 mm/h. SITE STORAGE REQUIREMENT ASSESSED USING RATIONAL METHOD FOR 5% AEP WITH STORM DURATIONS FROM 1 MIN TO 90 MINS. CRITICAL DURATION DETERMINED TO BE 15 MINS WITH RAINFALL INTENSITY 51.9 mm/h.			
TOTAL DEVELOPMENT AREA = 2180 m ²			
PRE-DEVELOPMENT AREAS		DEVELOPMENT AREAS	
ROOF (C=10)	4.32 m ²	ROOF (C=10)	835 m ²
IMPERVIOUS (C=0.9)	4.58 m ²	IMPERVIOUS (C=0.9)	600 m ²
GARDEN (C=0.4)	1290 m ²	GARDEN (C=0.4)	74.5 m ²
PERMISSIBLE SITE DISCHARGE	11.9 L/s	PEAK FLOW RATE	22.9 L/s
EQUIV. VOLUME	10491 L	EQUIV. VOLUME (L)	20624 L
SITE STORAGE REQUIREMENT = 10133 L			
AREAS DETAINED		AREAS NOT DETAINED	
ROOF	835 m ²	ROOF	0 m ²
IMPERVIOUS	4.63 m ²	IMPERVIOUS	137 m ²
GARDEN	0 m ²	GARDEN	74.5 m ²
PEAK FLOW TO DETENTION = 11.3 L/s		UNDETAINED PEAK FLOW = 4.1 L/s	
DETENTION DISCHARGE REQUIREMENT = 7.6 L/s MAXIMUM			
DN600 PIPE, 36m LONG AND 900x900 ORIFICE PIT PROVIDING 10173L OF ONSITE STORMWATER DETENTION			
MAXIMUM OSD WATER DEPTH = 0.80 mm			
MAXIMUM CONTROLLED FLOW RATE WITH 60 mm ORIFICE = 7.6 L/s			
SYSTEM MAINTENANCE REQUIREMENTS DETAILED ADJACENT			

STORMWATER TREATMENT MAINTENANCE PLAN

AN ENVIROAUSTRALIS STORMWATER QUALITY IMPROVEMENT DEVICE HAS BEEN PROVIDED ON THIS SITE AND THE OWNER IS REQUIRED TO MAINTAIN, REPAIR AND REPLACE THE INFRASTRUCTURE AS REQUIRED TO ENSURE THAT IT FUNCTIONS CORRECTLY.

IT IS RECOMMENDED THAT AN INSPECTION BE UNDERTAKEN AFTER 3 MONTHS OF USE TO DETERMINE THE AMOUNT OF CAPTURE OF GROSS POLLUTANTS AND SEDIMENTS. DE TERMINATION OF REGULARITY OF MAINTENANCE CAN BE ASSESSED FROM THIS. HOWEVER, MAINTENANCE INSPECTIONS SHOULD BE CARRIED OUT ANNUALLY AND AFTER ALL HIGH RAINFALL EVENTS.

THE TREATMENT SYSTEM DOES NOT NEED TO BE ENTERED TO UNDERTAKE CLEANING AND MAINTENANCE. IF THE UNIT IS LOCATED IN A TRAFFICABLE AREA APPROPRIATE TRAFFIC MANAGEMENT MEASURES MUST BE PUT IN PLACE. ONCE APPROPRIATE VEHICLE AND PEDESTRIAN SAFETY MEASURES ARE IN PLACE REMOVE THE ACCESS COVER, INSERT A SUCTION HOSE INTO THE STORAGE CHAMBER AND REMOVE BOTH THE TREATED WATER AND THE STORED GROSS POLLUTANTS AND SEDIMENTS. IF REQUIRED INSERT AN INFLATABLE PIPE PLUG INTO THE INLET PIPE TO PREVENT ADDITIONAL INGRESS OF STORMWATER.

BOTH SCREENS IN THE UNIT REQUIRE HIGH PRESSURE WATER CLEANING AND THIS CAN BE DONE WITH THE SCREENS IN PLACE. THE WATER PRESSURE IS NOT TO EXCEED 6 BAR. IF A SUBSTANTIAL AMOUNT OF WATER IS USED WHILE CLEANING THE SCREENS THEN WASHDOWN WATER MUST BE SUCKED OUT. IF NECESSARY SCREENS CAN BE REMOVED FOR CLEANING WITH A SPECIAL TOOL AVAILABLE FROM ENVIROAUSTRALIS. IF REMOVED THE SCREENS MUST BE PLACED WITH THE SMOOTH SCREEN FACE ORIENTATED TOWARDS THE DIRTY WATER SIDE, I.E. TOWARDS THE CENTRAL CORE.

AFTER COMPLETION OF CLEANING REPLACE THE COVER ENSURING IT IS CORRECTLY SEATED WITH NO RAISED EDGES AND REMOVE VEHICLE AND PEDESTRIAN SAFETY MEASURES. THE REMOVED WATER, GROSS POLLUTANTS AND SEDIMENTS ARE TO BE DISPOSED OF AT AN AUTHORISED DISPOSAL FACILITY.

STORMWATER MAINTENANCE PLAN

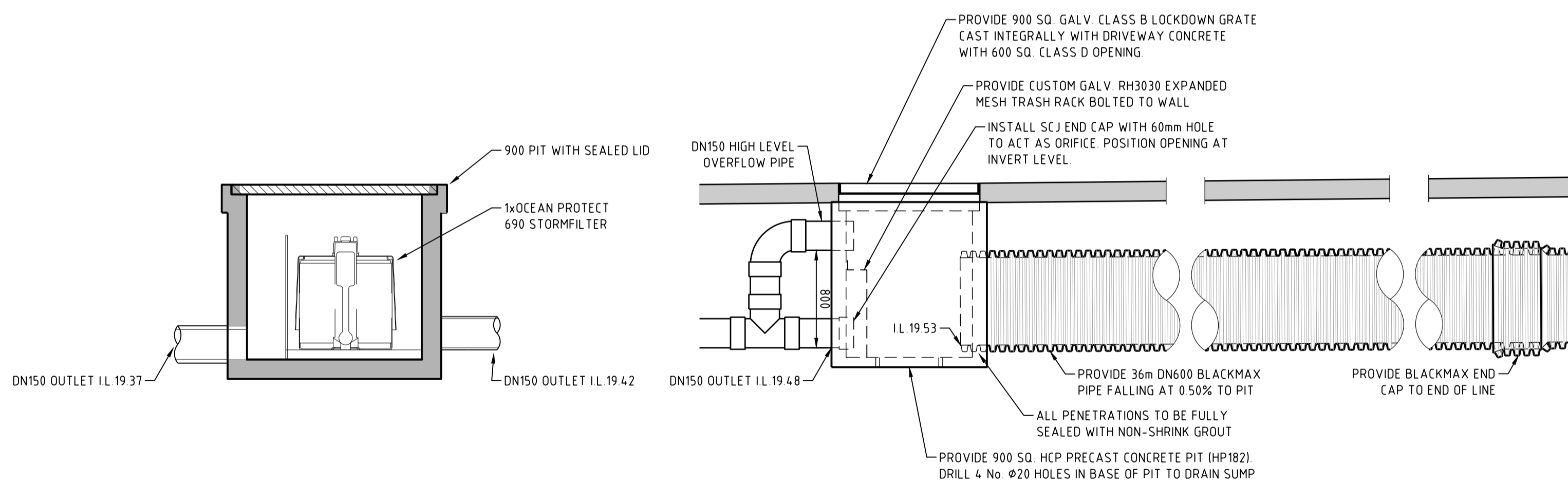
AN UNDERGROUND STORMWATER DETENTION TANK HAS BEEN PROVIDED ON THIS SITE AND THE OWNER IS REQUIRED TO MAINTAIN, REPAIR AND REPLACE THE INFRASTRUCTURE AS REQUIRED TO ENSURE THAT IT FUNCTIONS CORRECTLY.

SYSTEM OVERVIEW

- THE SYSTEM CONSISTS OF GRAVITY STORMWATER DRAINAGE PIPES DIRECTED TO THE UNDERGROUND TANK.
- STORMWATER IS DETAINED IN THE TANK BY VIRTUE OF A REDUCED DIAMETER OUTLET, OR ORIFICE, THAT MAY BECOME BLOCKED OVER TIME.

MAINTENANCE

- THE DETENTION TANK IS A CONFINED SPACE AND AS SUCH POSES DANGERS THAT REQUIRE IDENTIFICATION AND MANAGEMENT AND SHOULD ONLY BE ENTERED BY PERSONS TRAINED IN ACCORDANCE WITH TASMANIAN LEGISLATIVE REQUIREMENTS FOR CONFINED SPACES.
- THE ORIFICE IS PROTECTED FROM BLOCKAGE BY A TRASH SCREEN. THE ORIFICE CONTROL PIT SHOULD BE INSPECTED ANNUALLY OR AFTER SIGNIFICANT RAINFALL EVENTS AND TRASH REMOVED. IF THIS PIT IS SEEN OVERFLOWING IT INDICATES THAT THE OUTLET IS BLOCKED AND REQUIRES MAINTENANCE BY AN APPROVED PLUMBING CONTRACTOR.
- OVER AN EXTENDED PERIOD OF TIME SEDIMENT MAY BUILD UP IN THE DETENTION TANK AND DISCHARGE PIT. IF THIS IS OBSERVED MAINTENANCE IS REQUIRED BY A WASTE REMOVAL SPECIALIST.



UNDERGROUND QUALITY TREATMENT AND DETENTION GENERAL ARRANGEMENT

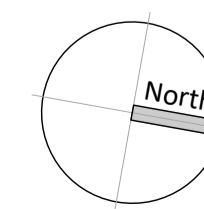
NOT TO SCALE

Glenorchy City Council Planning Services
APPROVED
06 December 2023

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REV	DESCRIPTION	APP'D	DATE	REV	DESCRIPTION	APP'D	DATE
G	PLANNING APPROVAL	DH	06.11.2023				

THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION



GANDY AND ROBERTS CONSULTING ENGINEERS

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mail@gandyandroberts.com.au
ph 03 6223 8877 fx 03 6223 7183

HOMES TASMANIA
1-7 TEERING ROAD, BERRIEDALE
TASMANIA 7011
DRAWING TITLE
CONCEPT STORMWATER DETAILS

SCALE NTS @ A1		
DESIGNED DH	DRAWN DS	CHECKED -
PROJECT 23.0207	DRAWING C040	REVISION G



23010 TEERING ROAD UNITS
PLANNING PERMIT APPLICATION

SHADOW DIAGRAMS - WINTER SOLSTICE JUNE 21st
1-7 Teering Rd, Berriedale TAS
July 28th, 2022

The use and development must be undertaken and completed in accordance with the approved plans, except for changes required to comply with planning permit conditions. The use and development must not be otherwise changed without the approval of Council.

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-23-212
DATE RECEIVED 04 August 2023



Proposed Condition
June 21st 9am



Proposed Condition
June 21st 10am



Proposed Condition
June 21st 11am

Glenorchy City Council Planning Services
APPROVED
06 December 2023

SCALE 1:500 @ A3





23010 TEERING ROAD UNITS
PLANNING PERMIT APPLICATION

SHADOW DIAGRAMS - WINTER SOLSTICE JUNE 21st
1-7 Teering Rd, Berriedale TAS
July 28th, 2022

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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No PLN-23-212
DATE RECEIVED 04 August 2023



Proposed Condition
June 21st 12pm (Noon)

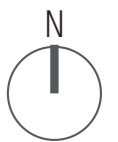


Proposed Condition
June 21st 1pm



Proposed Condition
June 21st 2pm

Glenorchy City Council Planning Services
APPROVED
06 December 2023





**23010 TEERING ROAD UNITS
PLANNING PERMIT APPLICATION**

SHADOW DIAGRAMS - WINTER SOLSTICE JUNE 21st
1-7 Teering Rd, Berriedale TAS
July 28th, 2022

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

APPLICATION No **PLN-23-212**

DATE RECEIVED **04 August 2023**



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Glenorchy City Council Planning Services

APPROVED

06 December 2023

Proposed Condition
June 21st 3pm





23010 TEERING ROAD UNITS
PLANNING PERMIT APPLICATION

SHADOW DIAGRAMS EASTERNBALCONIES - WINTER SOLSTICE JUNE 21st
1-7 Teering Rd, Berriedale TAS
July 28th, 2022

Glenorchy City Council Planning Services

APPROVED

06 December 2023

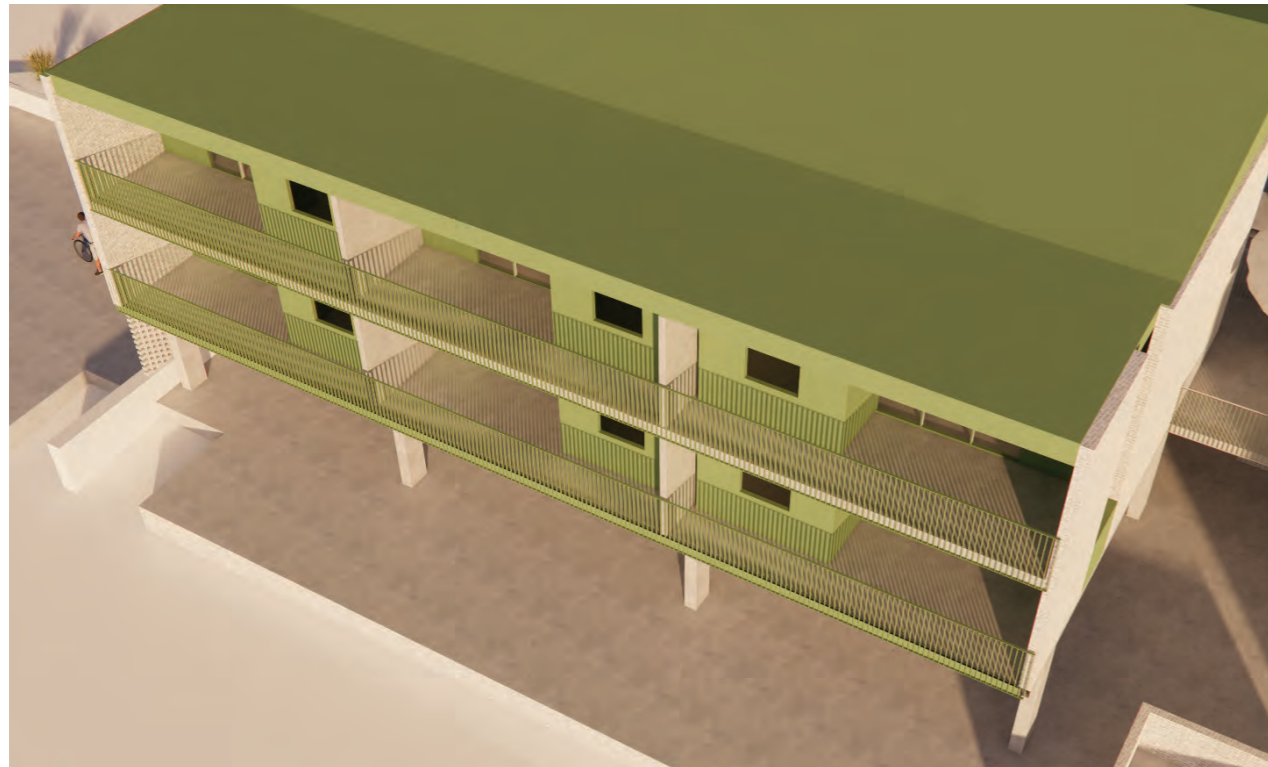
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**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

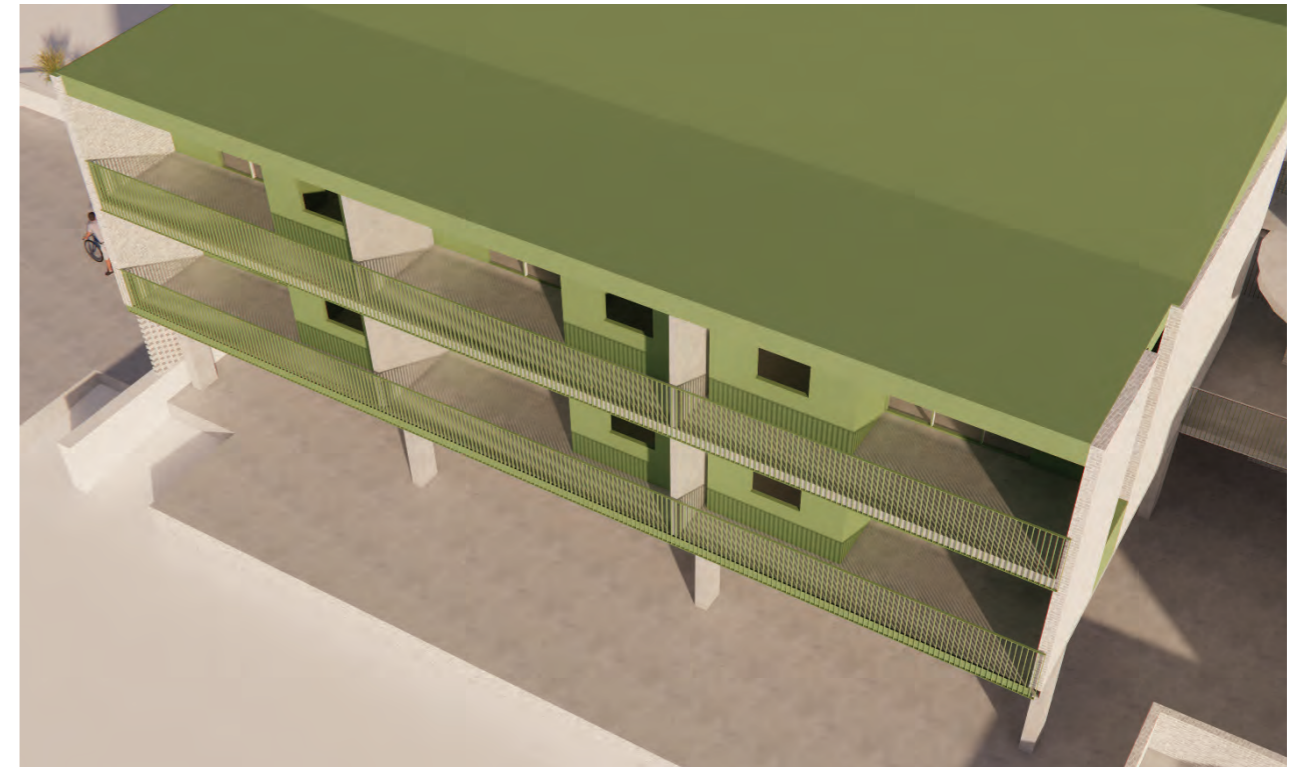
PLN-23-212

APPLICATION No

DATE RECEIVED 04 August 2023



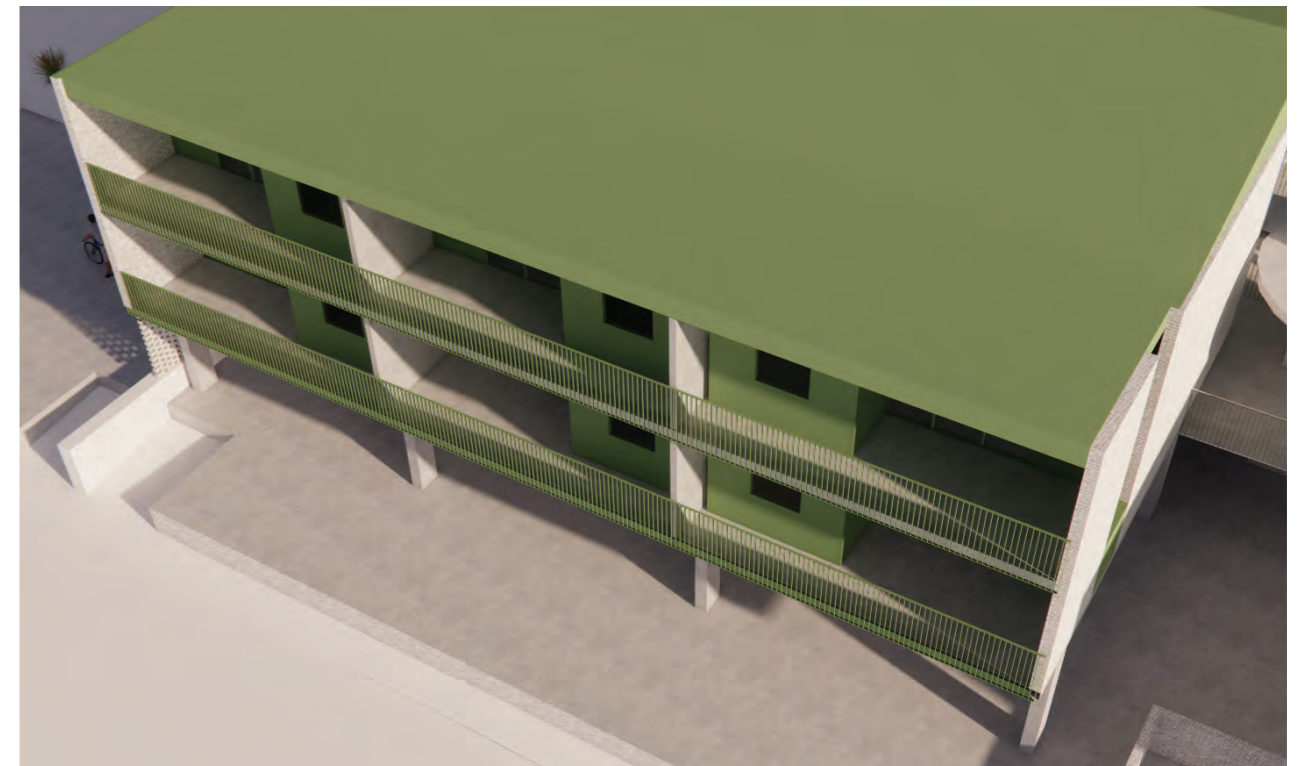
Proposed Condition
June 21st 9am



Proposed Condition
June 21st 10am



Proposed Condition
June 21st 11am



Proposed Condition
June 21st 12pm (Noon)